

**ELDREDGE SURVEYING  
& ENGINEERING, LLC**

1038 Main Street  
Chatham, Massachusetts 02633

**LETTER OF TRANSMITTAL**

February 12, 2018

**CHATHAM HISTORIC BUSINESS DISTRICT COMMISSION**

Town Office Annex  
261 George Ryder  
Chatham, MA 02633

Re: 111Stony Hill Road  
Assessor's Map 14H-4-8

Dear Board Members:

On behalf of the owners, Dale Eldredge, et ali, enclosed please find twelve copies of the following:

- Application for New Construction;
- Limited Power of Attorney;
- Photographs of the previously existing building;
- Sewage Disposal System Plan dated 02/02/2018, depicting Existing Conditions, Proposed Conditions and Proposed Landscaping;
- Proposed architectural plans;
- Photographs of proposed materials
  - i. Lighting
  - ii. Siding and roofing
  - iii. door
- Assessors Map;
- Copy of Previous application for Certificate of Appropriateness filed 02/13/2014
- Check made payable to the Town of Chatham, HBDC in the amount of \$50.00

The project was permitted by the HBDC four years ago. At the time there was a derelict dwelling on the property. The proposal was to demolish the dwelling and construct a new dwelling to the rear of the property.

The property owner immediately demolished the dwelling, but has yet to start construction on the home. In the past four years, the property owner has been working with Town Staff in an attempt to make the fees associated with the unpaid taxes more reasonable. The property owner has diligently extended his permits and is now faced with the need to refile for the Zoning Board of Appeals.

In the four years, the property owner has reconsidered his design and new plans are included with this proposal. The dwelling is being proposed in the middle of the property with a shorter driveway. The materials have changed and are similar to other materials found in the vicinity.

At your earliest convenience, please advise this office of the date and time of the meeting for this project.

Copy: Dale Eldredge



*Town Of Chatham*  
*Historic Business District Commission*



261 George Ryder Road  
CHATHAM, MA 02633

TELEPHONE (508) 945-5168

FAX (508) 945-5163

## ***Application for New Construction***

The following is a summary of materials that should be included in applications for New Construction:

- Photographs of site, including views from all public streets or ways.
- Site plan showing existing and proposed grade changes.
- Complete exterior elevations.
- Schedule of all exterior materials and products (e.g. windows, doors, lighting), including samples and color swatches.
- Landscaping/Hardscaping plan (see Site Improvements below).
- HBDC may require, at its discretion, samples, models, specifications, or other representative materials.

### General Application Requirements

- **Twelve** copies of all application materials must be submitted. Drawings must be 8 ½" x 11" or 11" x 17", and photographs and of all other required information must be attached to each copy of the application. All drawings and plans must be signed by the applicant or his/her authorized agent, and all attachments must be signed or initialed by the applicant.
- Drawings must be accurate in scale, including all exterior features, show finish grade at the foundation wall and ground level, and indicate all colors, materials and unusual details. Photographs must show current conditions and include several different views of affected elevations or areas.
- All applications should state the age of the building or structure, if available, and include available documentation supporting that date. Applicants are encouraged to include the Massachusetts Historical Commission Form B if such exists.
- The applicant must be the owner of the property or designated person to represent the owner. Unless a Power of Attorney or Agent Authorization Form is provided to the Commission prior to the scheduled hearing date.



*Town Of Chatham*  
*Historic Business District Commission*



261 George Ryder Road, CHATHAM, MA 02633 TELEPHONE (508) 945-5168 FAX (508) 945-5163

***Application for New Construction***

Date: 02/12/2018

Application Fee: \$50.00

Application No: \_\_\_\_\_

Fee Paid: \$\_\_\_\_\_

  X   New Construction

**Type of Work Proposed:**

**Project Details:**

Project Address: 111 Stony Hill Road

Description of Work: Construct a new dwelling towards the rear of the property.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Age of Structure: \_\_\_\_\_

**Owner/Applicant/Contractor Information:**

Project Name or Owner of Property: Dale Eldredge, et ali

Owners Address: P.O. Box 1040, West Chatham, MA 02669 Phone: 774-994-0488

Applicant or Agent: J. Thaddeus Eldredge, PLS Phone: 508 945-3965

Mailing Address: 1038 Main Street, Chatham, MA 02633

Email Address: office@ese-llc.com

Contractor: \_\_\_\_\_ Phone: \_\_\_\_\_

  
\_\_\_\_\_  
Signature of Applicant or Agent

HBDC - October 19, 2015

## LIMITED POWER OF ATTORNEY

I, Dale Eldredge, appoint, J. THADDEUS ELDREDGE, PLS, and/or his employees, Attorney-in-fact for and in my name, grant unto the said J. THADDEUS ELDREDGE, PLS, and/or his employees full power and authority to do and perform all and every act and thing whatsoever requisite and necessary to be done relevant to the filing and representation to all Town of Chatham Boards and Commissions for property at 111 Stony Hill Road, Chatham, Massachusetts, to all intents and purposes as I might or could do if personally present, hereby ratifying and confirming all that the said J. THADDEUS ELDREDGE, PLS and/or his employees shall lawfully do or cause to be done be virtue hereof.

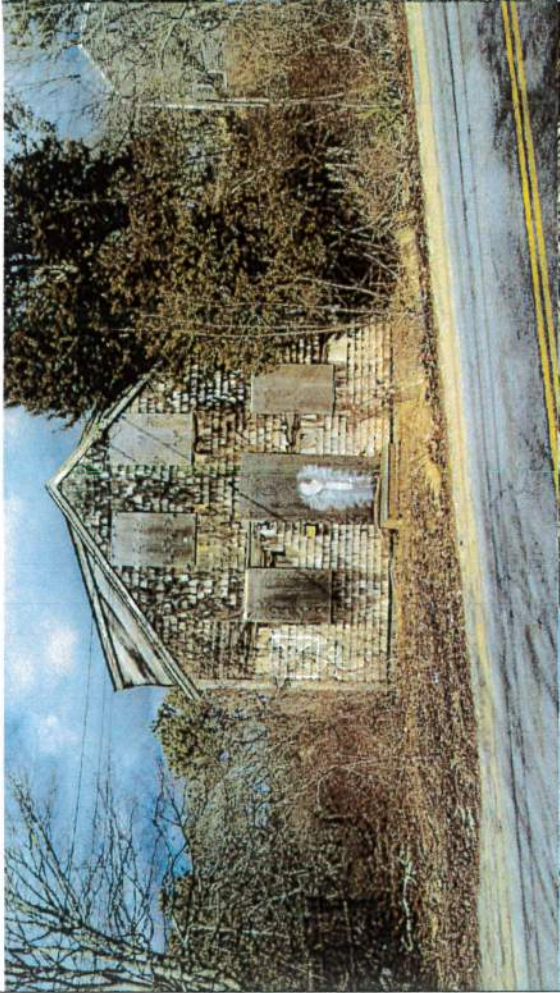
IN WITNESS WHEREOF I have set my hand and seal this 31<sup>st</sup> day of January, 2018.

Sealed and delivered in the presence of:

  
\_\_\_\_\_  
Witness

Client  
  
\_\_\_\_\_  
Dale Eldredge

Front



Rear

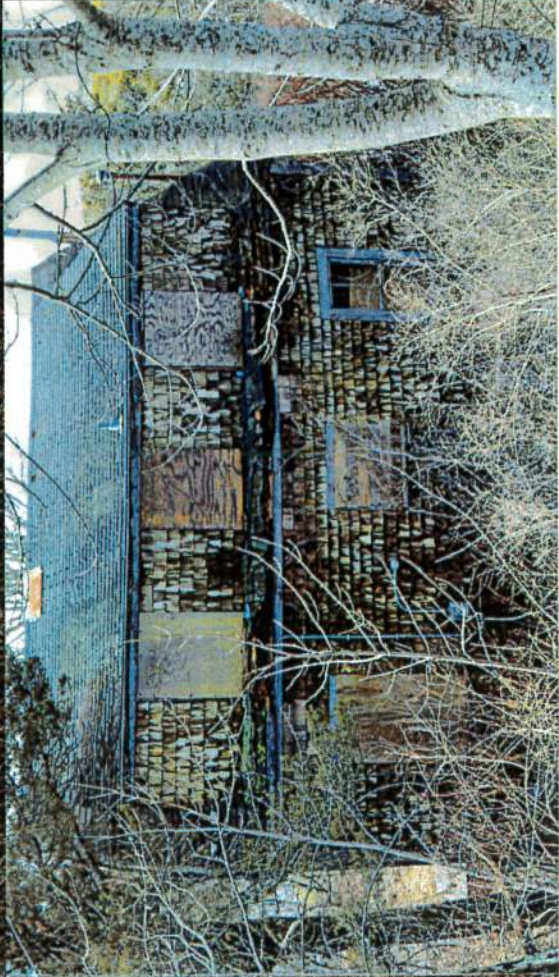


Left



111 Stony Hill Road, Dale Eldredge

Right



**WINDOW SCHEDULE**

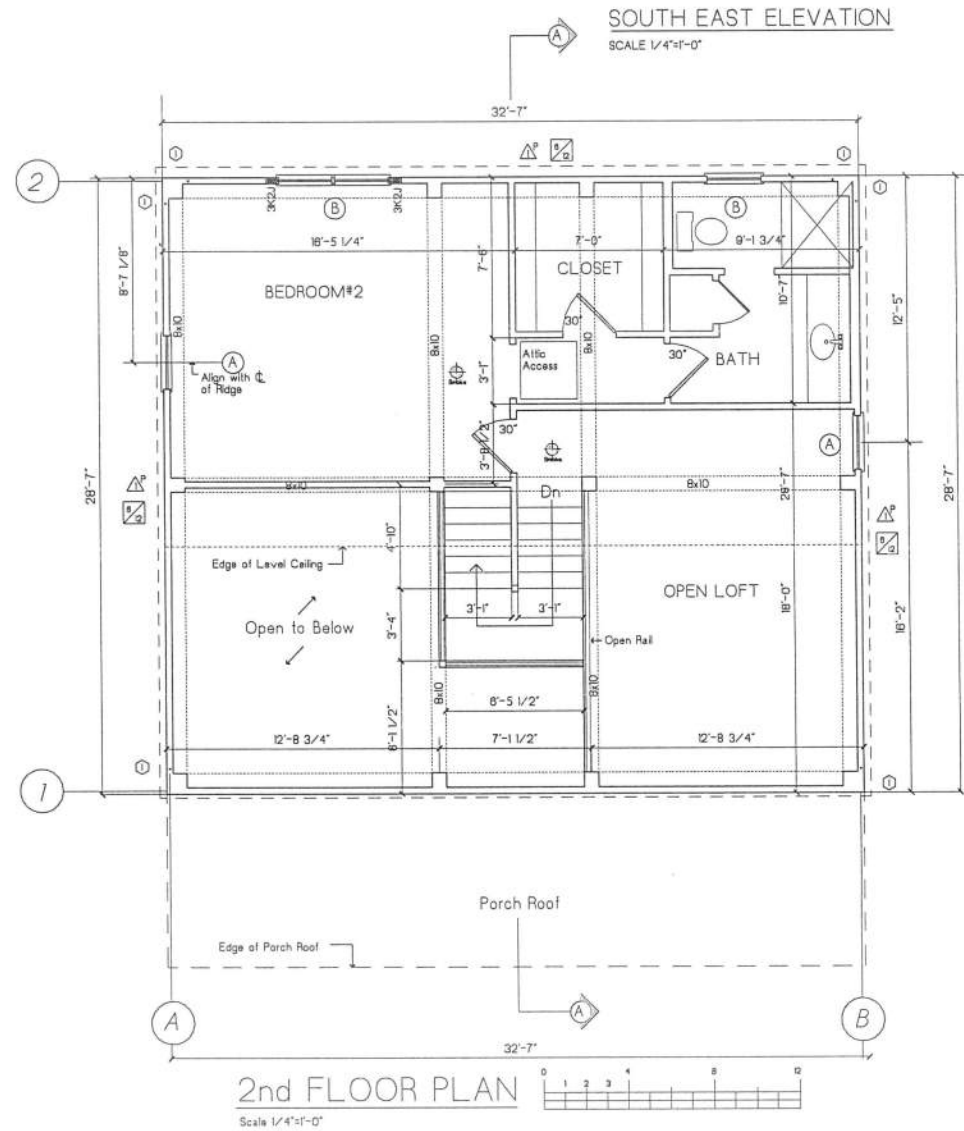
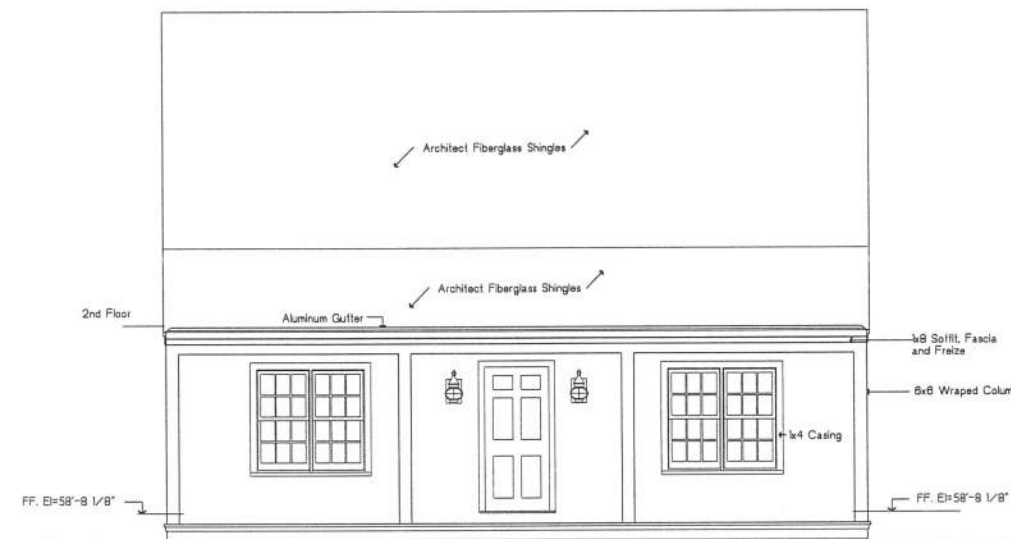
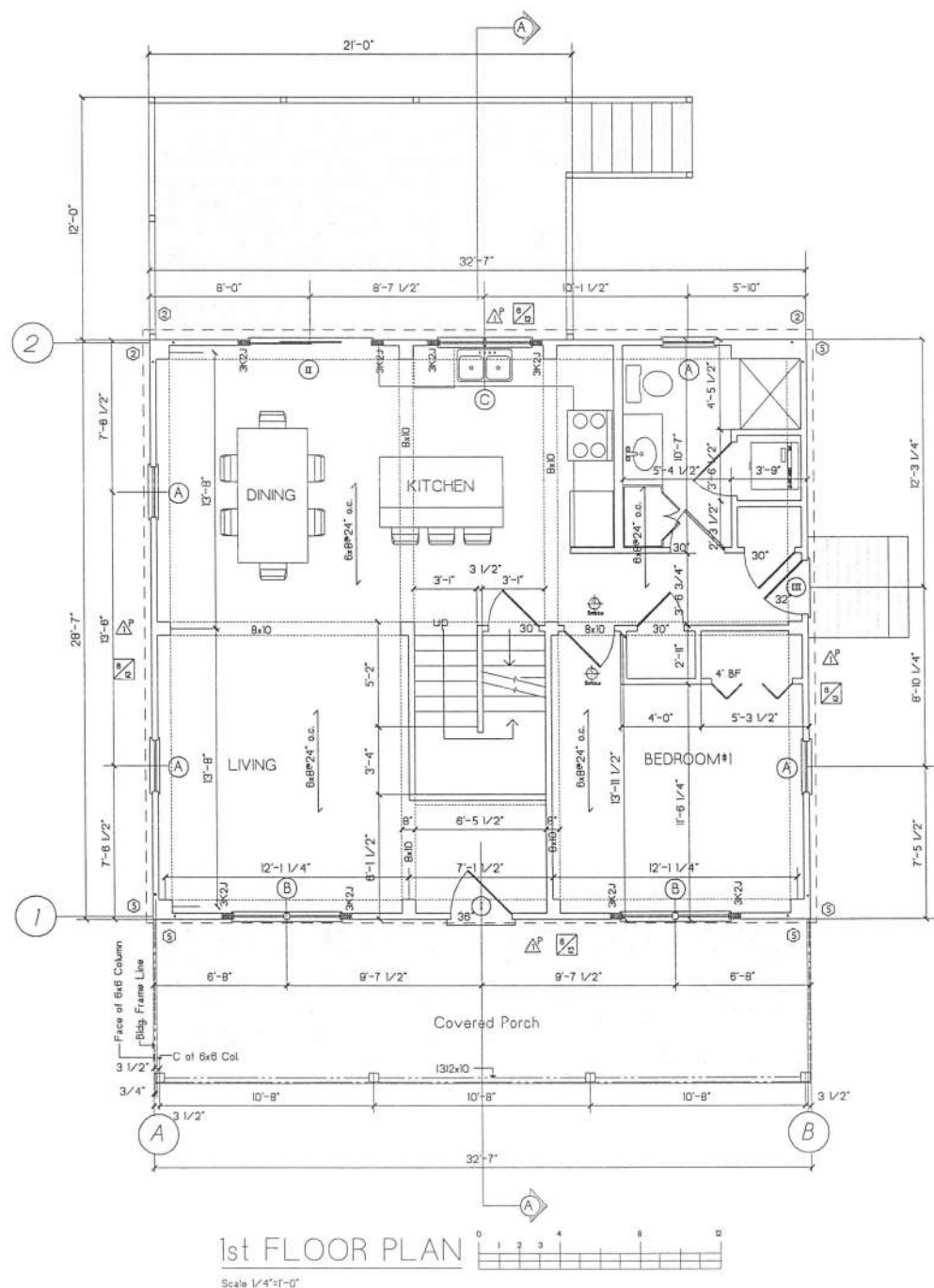
MK	DESCRIPTION	Qty	Sqft	Total Sqft	ROUGH OPENING	COMMENTS
(A)	TW2446		7.85		2'-8 1/8" x 4'-8 7/8"	Andersen 400 Series
(B)	I2TW2448		15.3		5'-0 3/4" x 4'-8 7/8"	Andersen 400 Series
(C)	C235		9.9		4'-0 1/2" x 3'-5 3/8"	Andersen 400 Series
(D)	CI2		4.04		2'-0 5/8" x 2'-0 5/8"	Andersen 400 Series

Note: Contractor to verify all millwork information including rough openings, clearances and quantities prior to construction.

**DOOR SCHEDULE**

MK	DESCRIPTION	Qty	Sqft	Total Sqft	ROUGH OPENING	COMMENTS
(I)	3'-0"-8/8" Door w/ side lights					
(II)	FWG 8068L					
(III)	32" 9 Light Door					

Note: Contractor to verify all millwork information including rough openings, clearances and quantities prior to construction.



NOTE: This project is located in a WINDBORNE DEBRIS REGION and shall have glazed openings protected from windborne debris. Glazed openings protection for windborne debris shall meet the requirements of the large missile test of ASTM E 1996 and of ASTM E 1886 referenced therein.

EXCEPTION: Wood structural panels with a minimum thickness of 7/8" and a maximum span of eight feet shall be permitted for opening protection in one and two story buildings. Panels shall be pre-cut to cover glazed openings with attachment hardware provided in accordance with Table S301.2.12.

**TIMBER FRAME**  
Timber Frame sizes and details to be provided by installer.

**WIND REQUIREMENTS**  
110 mph, Exposure B Designed Shearwalls/hold downs (does not comply with Mass. Check List)  
Design uses 2x4 framed walls outside of Post and Beam Frame for lateral wind load resistance.  
Post and Beam frame- Vertical/Gravity loads only. See Timber Frame details by others.

**ZIBRAT & McCARTHY** LLP  
63 Crowell Road  
Chatham, Mass 02633  
508-945-9424

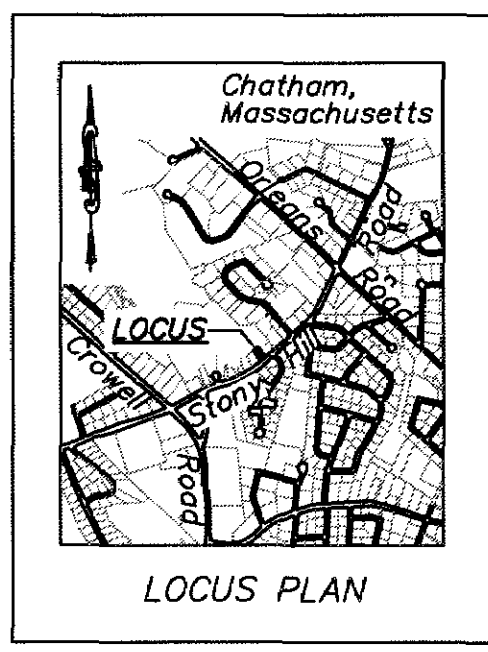
Proposed Single Family Dwelling for:  
**Dale Eldredge**  
111 Stony Hill Rd, Chatham, MA.

REVISIONS  
Scale  
PLAN

**A1**  
Sheet 1 of 3

1/24/2018





**ZONING REQUIREMENTS**

Zone GB-3, General Business  
 Minimum Area 10,000 S.F.  
 Minimum Frontage 100 Ft.  
 Front Yard Setback 50 Ft.  
 Side and Rear Yard Setback 15 Ft.  
 Maximum Lot Coverage 60%  
 Maximum Building Coverage N/A  
 Required Green Area 40%  
 Front Parking Setback 20 Ft.  
 Side Parking Setback 15 Ft.

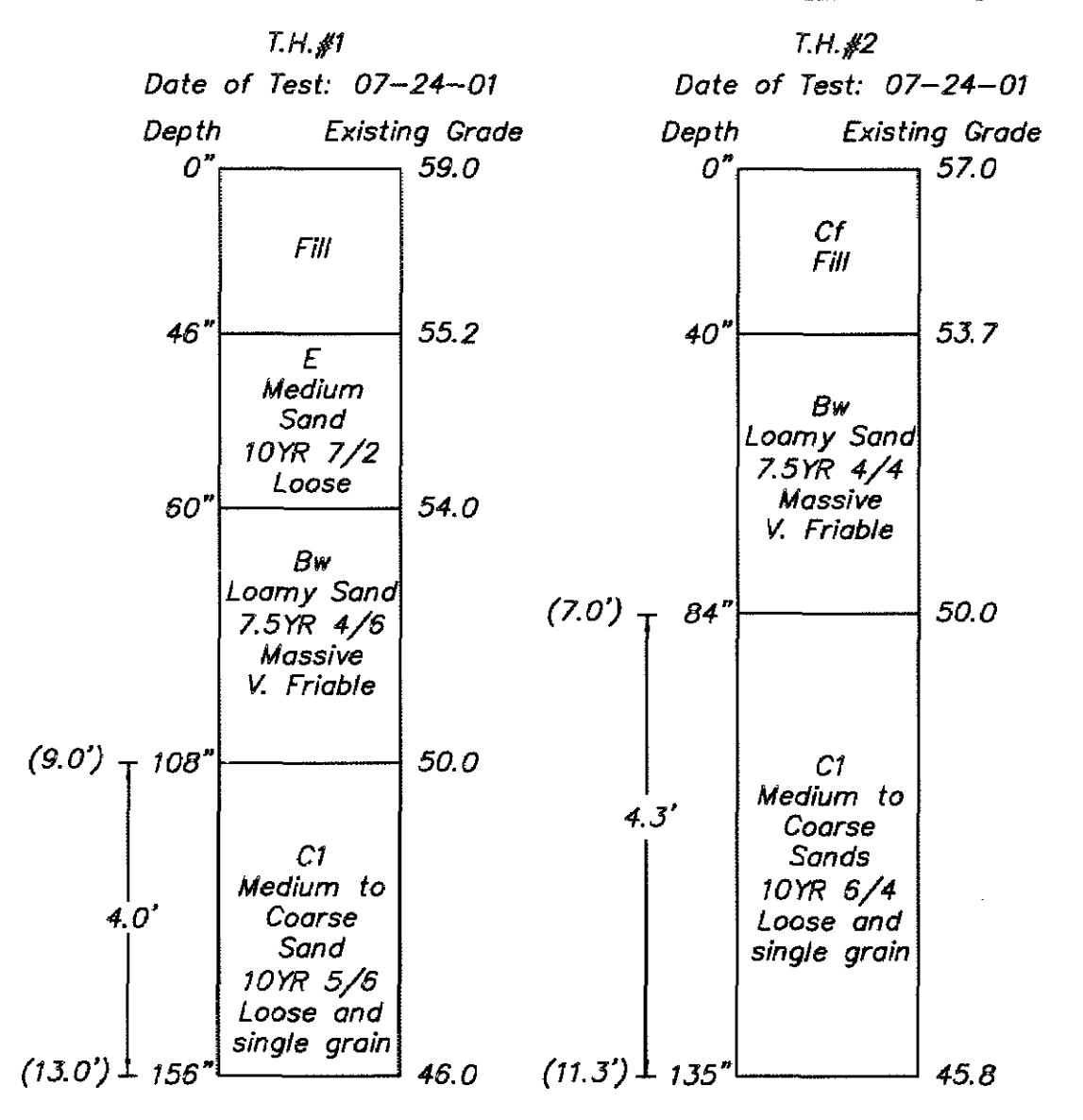
Assessors' Map 14H, Parcel 4-B

OWNER OF RECORD:  
 Dale Eldredge et al.  
 Deed Book 27747, Page 330 (1/4)  
 Deed Book 27684 Page 255 (1/4)  
 See Deed Book 3011, Pages 97-101  
 See Probate 58280  
 Plan Book 337, Page 98, Parcel C

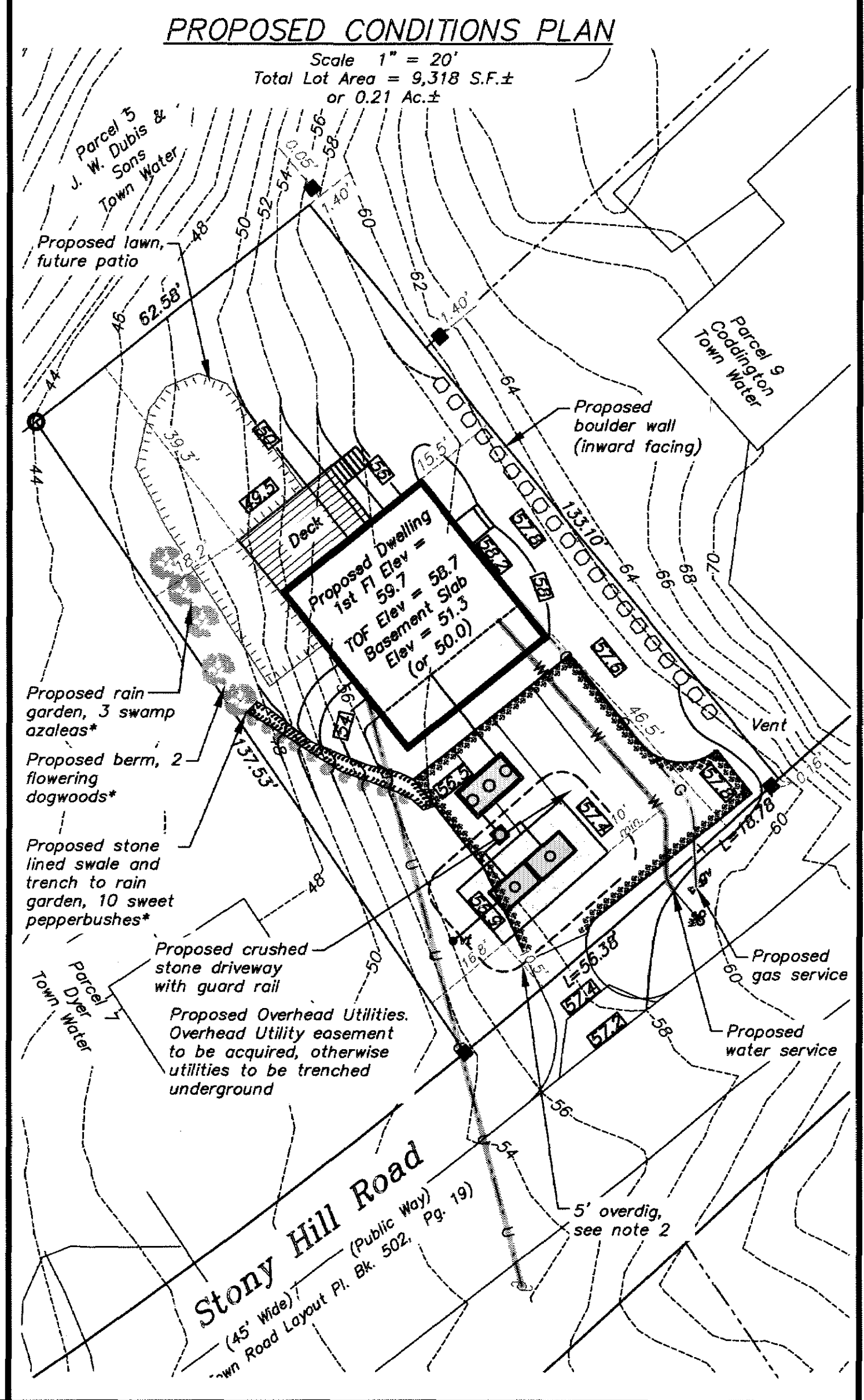
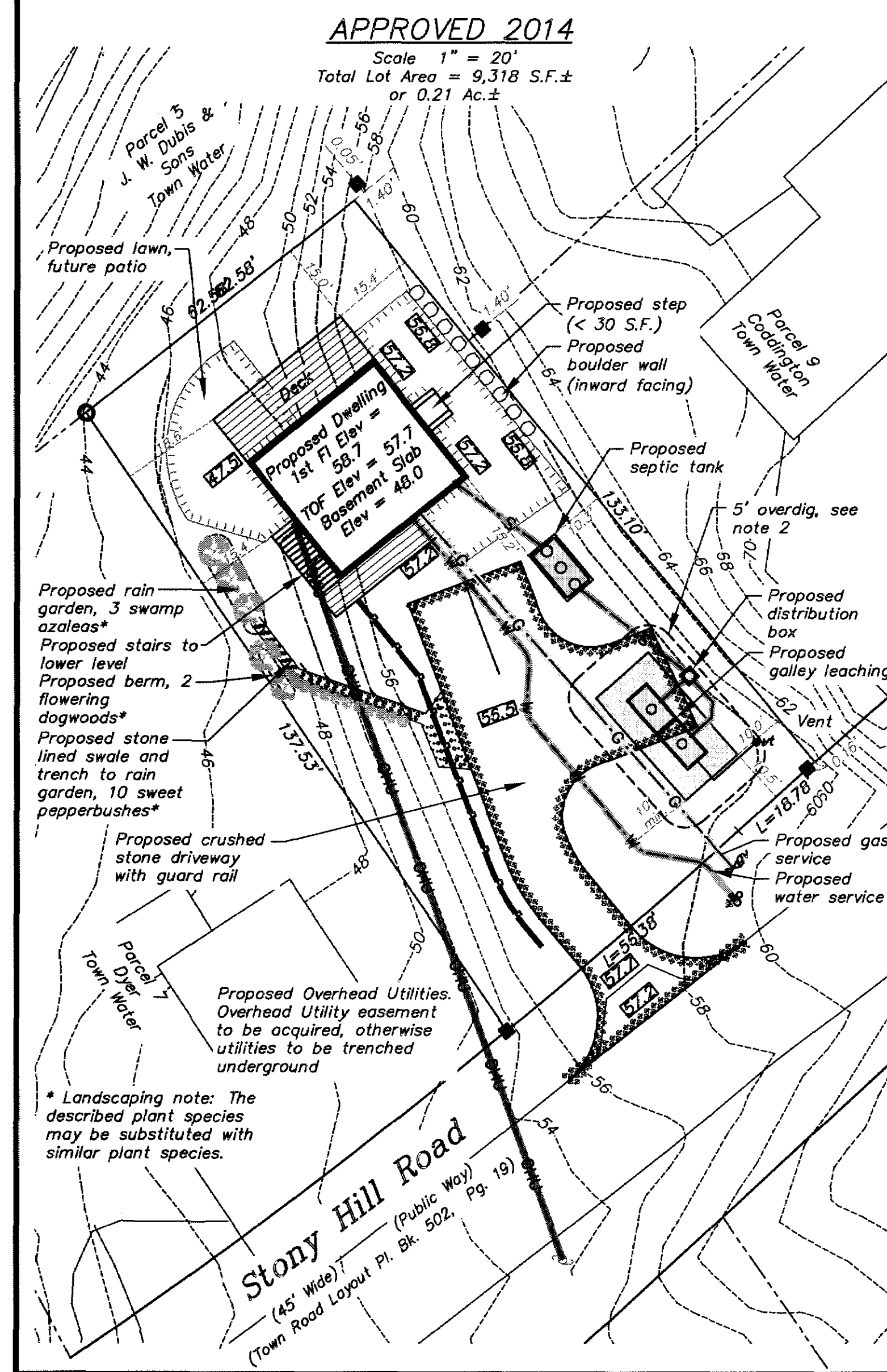
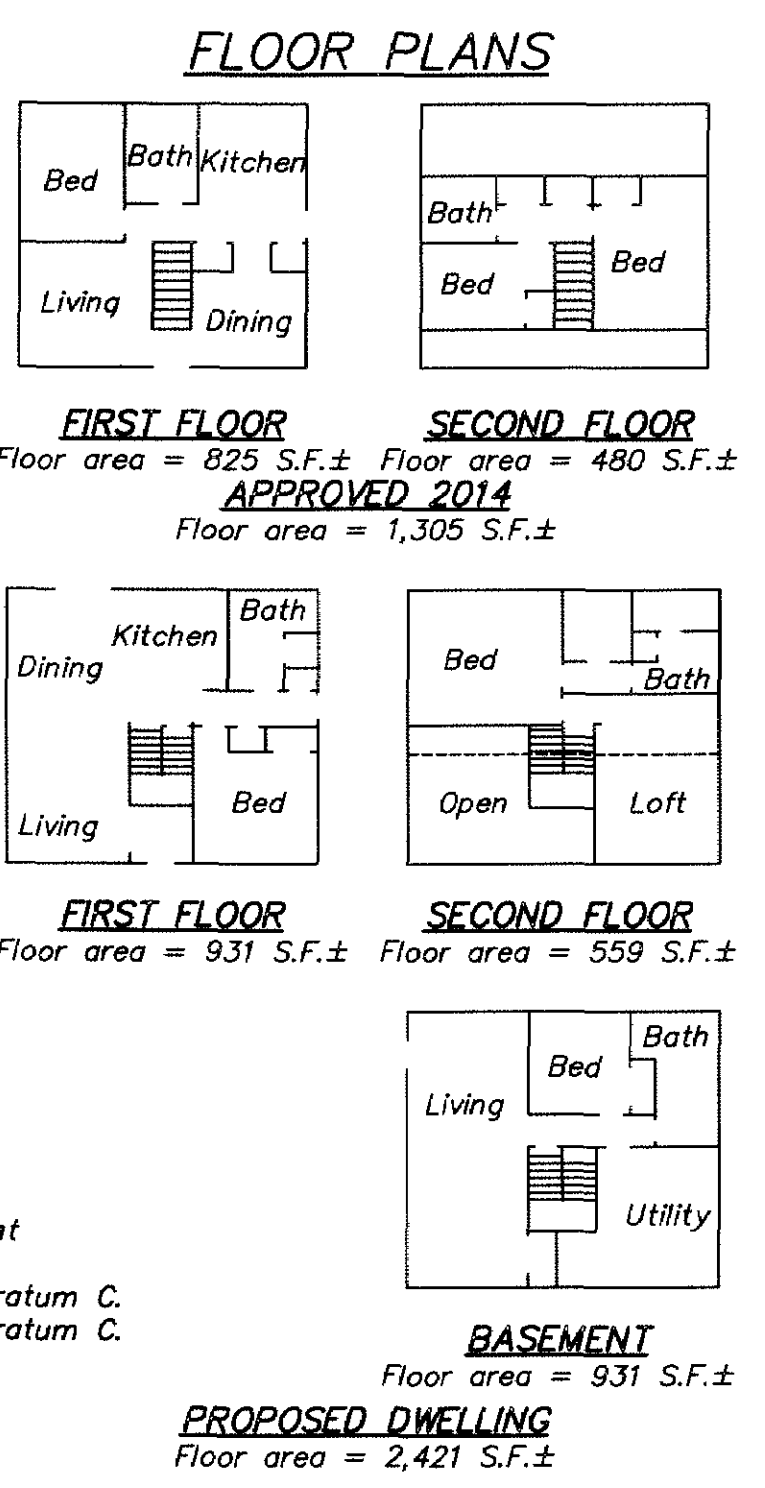
**LEGEND**

12 Existing Contour  
 13.5 Proposed Contour  
 15.4 Existing Spot Grade  
 Water Service  
 Overhead Utility Line(s)  
 Gas Line  
 Test Hole Location  
 Percolation Test Location  
 Concrete Bound (CB)  
 Septic Tank  
 Distribution Box  
 Soil Absorption System  
 Reserved for Future S.A.S.  
 Utility Pole  
 Catch Basin  
 Fire Hydrant  
 Tree or Hedge Line  
 [15.000] Reference to 310 CMR 15.000, Title 5

**DEEP OBSERVATION HOLE LOG**



Representative of Approving Authority: Terry Hayes, Chatham, Health Agent  
 Soil Evaluator: Richard Judd, R.S.  
 Percolation Rate: #1 02-26-08 Assumed @ <2 min. per inch in Substratum C.  
 Percolation Rate: #2 02-26-08 Assumed @ <2 min. per inch in Substratum C.  
 No Water Encountered.



**GENERAL NOTES**

A.) Neither driveway nor parking areas are allowed over septic system unless H-20 components are used and system is vented.  
 B.) The designer will not be responsible for the system as designed unless constructed as shown. Any changes must be approved in writing by the designer.  
 C.) Contractor shall be responsible for verifying the location of all underground and overhead utilities prior to the commencement of work.  
 D.) A copy of this plan was submitted to the Chatham Water Department for their review, on 1/21/2014

**CONSTRUCTION NOTES**

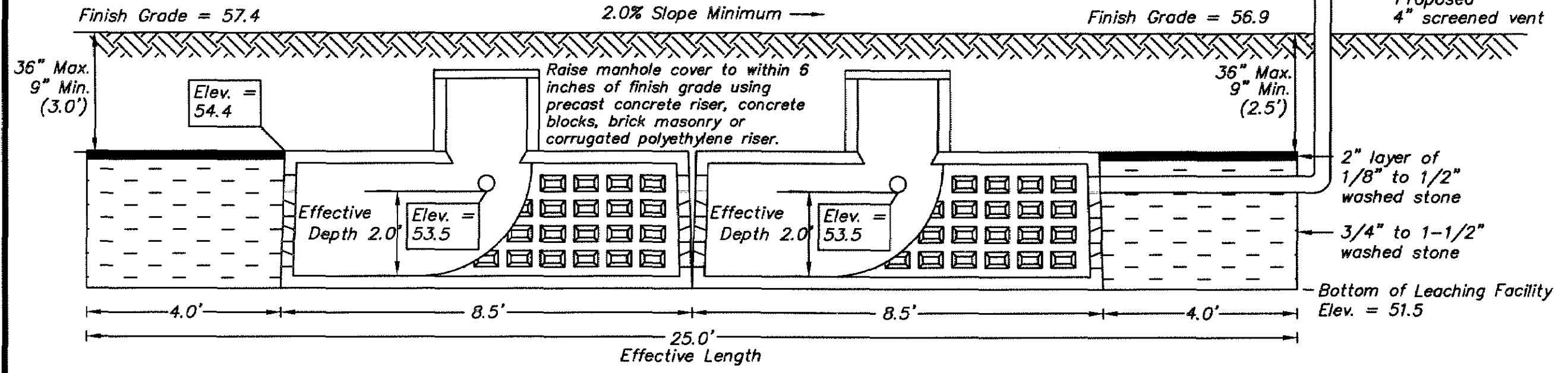
1.) All materials and construction shall conform to the State Environmental Code, Title 5, and the requirements of the local Board of Health.  
 2.) Topsoil, subsoil, peat, or other unsuitable or impervious material [15.255 (1)] shall be removed five (5) feet laterally in all directions beyond the outer perimeter of the soil absorption system to the depth of the naturally occurring pervious material(s) and replaced with fill material meeting the specifications of 310 CMR 15.255 (3), [15.255(5)].  
 3.) Septic tank(s), grease trap(s), dosing chamber(s) and distribution box(es) shall be set on a level stable base which has been mechanically compacted. If the component is placed in fill, proper compaction is required to ensure stability and to prevent settling; native ground with a 6 inch stone base is otherwise adequate [15.221(2)].  
 4.) From the date of installation of the soil absorption system until receipt of a Certificate of Compliance, the perimeter of the soil absorption system shall be staked and flagged to prevent the use of such area for all activities which might damage the system [15.246(2)].  
 5.) The Board of Health shall require inspection of all construction by an agent of the Board of Health and the designer and shall require such persons to certify in writing that all work has been completed in accordance with the terms of the permit and approved plans. 48 hours advance notice is requested.

**SYSTEM DESIGN CALCULATIONS**

1.) Basis of Design  
 Number of Bedrooms: 3  
 Other: -  
 2.) Design Daily Flow Sewage Flow: 330 GPD  
 3.) Septic Tank Capacity  
 Required: 660 Gal.  
 Provided: 1,500 Gal.  
 4.) Soil Absorption System Capacity  
 Required: 330 GPD  
 Provided: 349 GPD\*  
 5.) A garbage disposal is NOT permitted with this design

\*[(perimeter = 12.83 x 2 + 25.0 x 2] x [depth = 2']  
 + [bottom = 12.83 x 25.0] x 0.74 GPD/SF = 349 GPD

**SECTION A-A'**



**PROPOSED BUILDING HEIGHT COMPUTATIONS**

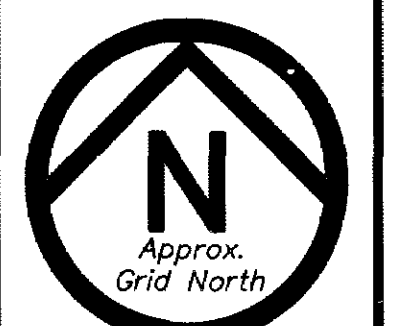
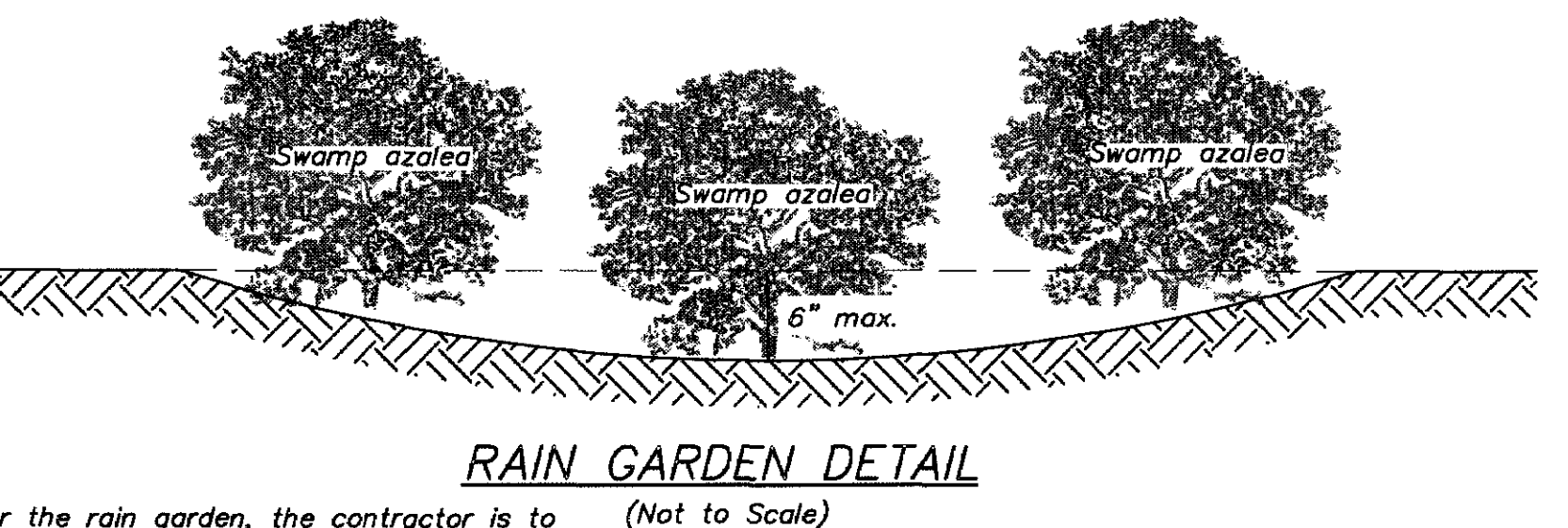
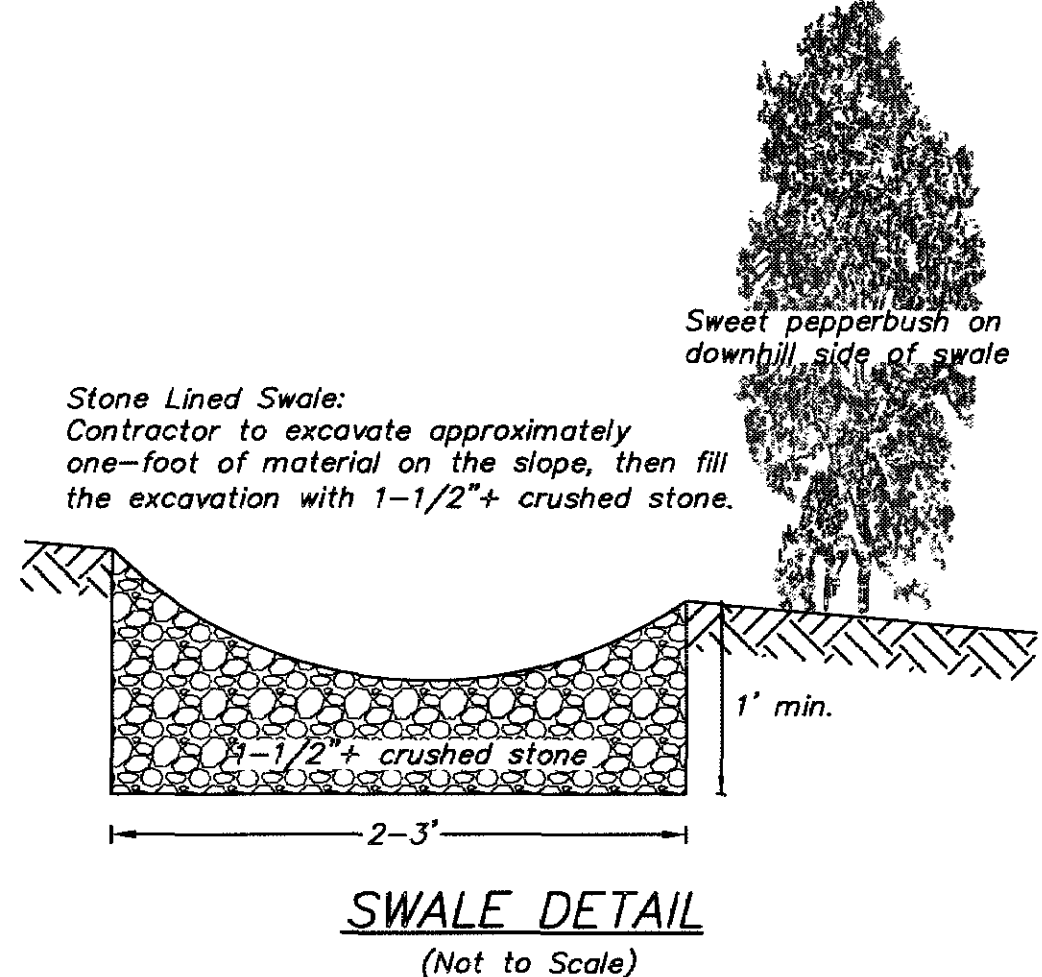
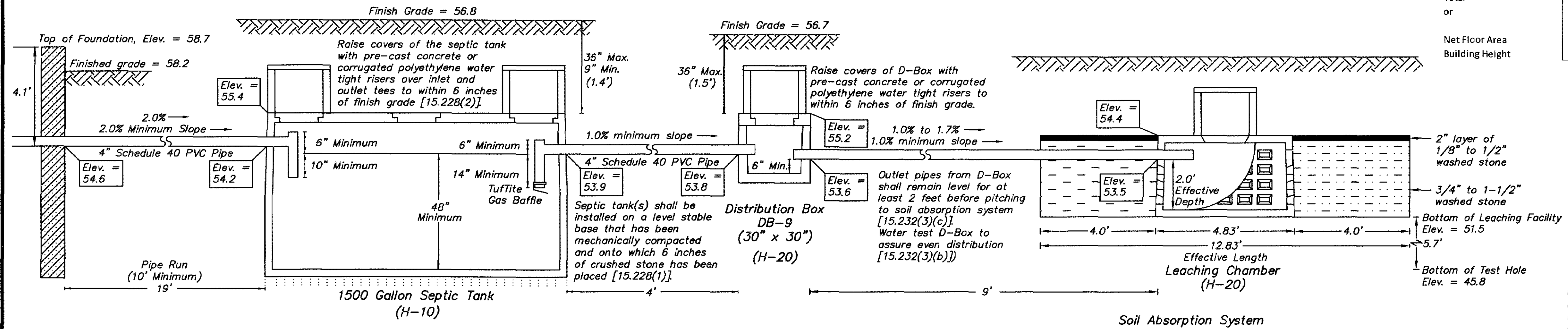
Building	Elevation	Average
NE	57.8 + 57.8 = 115.6 / 2 =	57.8
SE	57.6 + 56.5 = 114.1 / 2 =	57.1
SW	49.0 + 46.5 = 95.5 / 2 =	47.8
NW	49.5 + 56.0 = 105.5 / 2 =	52.8
TOTAL		215.4
GRADE PLANE		215.4 Divided by 4 =
MAXIMUM ELEVATION		53.8
83.8 - Top of Foundation		53.8 Plus 30 =
		83.8
25.1 MAXIMUM HEIGHT ABOVE TOP OF FOUNDATION		25.1

The architectural plans depict the ridge to be about 24' above the top of foundation which results in a proposed building height of 28.9 ft.

**Zoning Compliance**

	Approved 2014	Required	Proposed
Lot Area	9,318 S.F.±	10,000 S.F.±	9,318 S.F.±
Buildable Upland	9,318 S.F.±	10,000 S.F.±	9,318 S.F.±
Frontage	75.16 Ft.	100 Ft.	75.16 Ft.
Front Yard Setback	15.4 Ft.	50 Ft.	46.5 Ft.
Side and Rear Yard Setback	81.6 Ft.	15 Ft.	9.8 Ft.
Lot Coverage	33.7%	60%	34.3%
Building Coverage	8.9%	N/A	12.8%
Front Parking Setback	19.2 Ft.	20 Ft.	22.0 Ft.
Side Parking Setback	7.6	15 Ft.	15.0 Ft.
Building Coverage	825 S.F.±		1,194 S.F.±
Site Features			
Driveway	1,696 S.F.±		1,600 S.F.±
Decks / Steps	520 S.F.±		300 S.F.±
Wall	100		100 S.F.±
Total	3,141 S.F.±		3,194 S.F.±
or	33.7%		34.3%
Net Floor Area	1,305 S.F.±		2,793 S.F.±
Building Height	29.2 Ft.	30.0 Ft.	28.9 Ft.

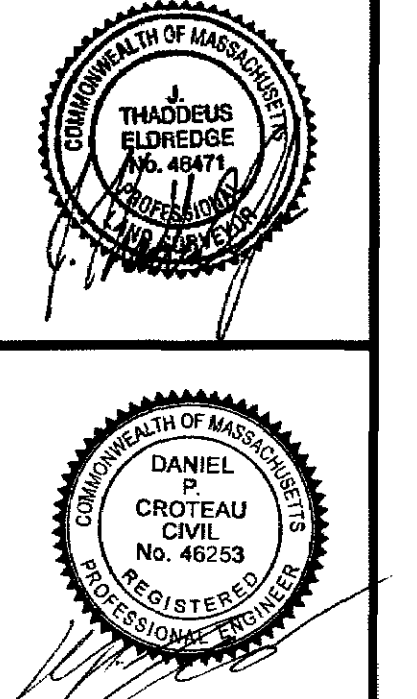
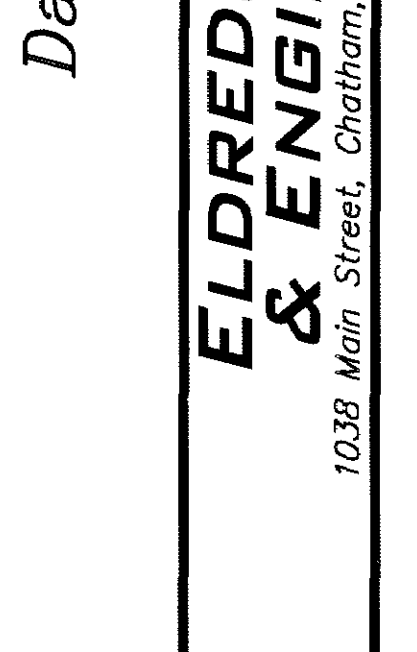
**PROFILE OF SYSTEM**  
 (Not to Scale)



**SEWAGE DISPOSAL SYSTEM PLAN**  
 111 Stone Hill Road, Chatham, Massachusetts

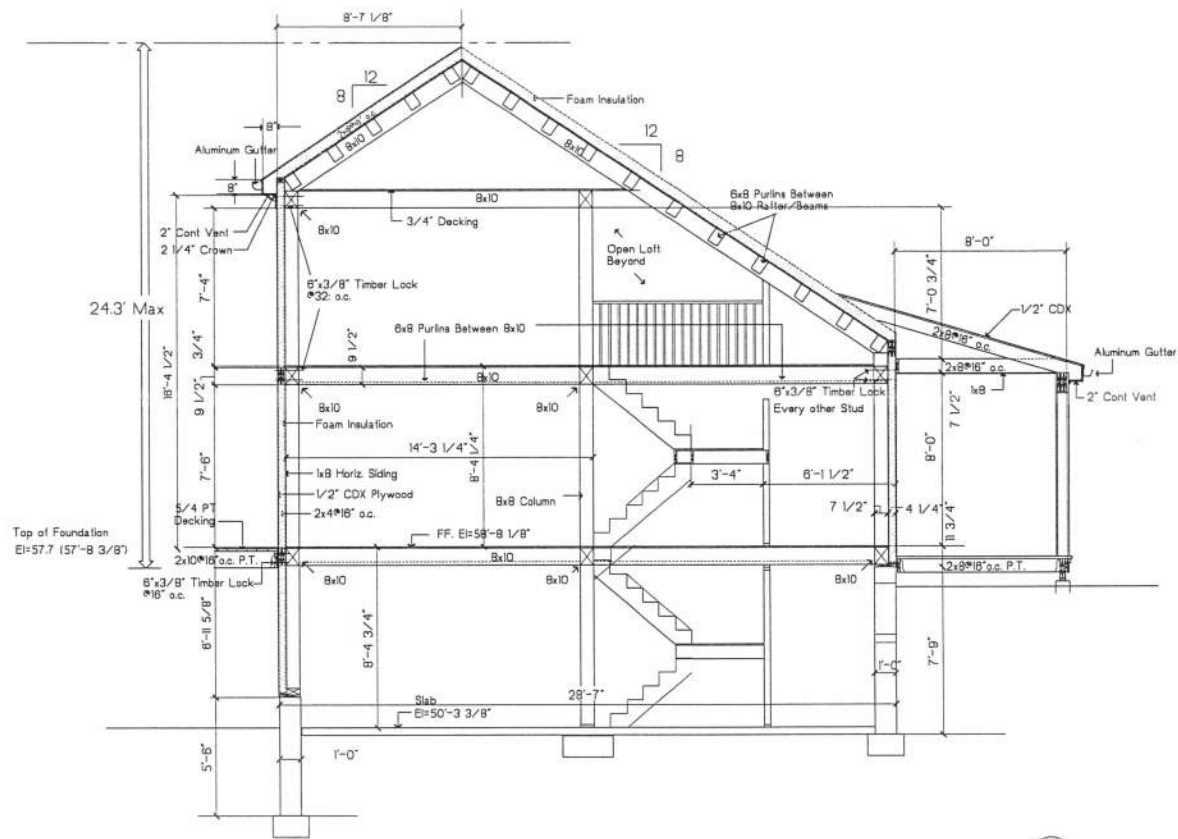
Date	Description of Revision

**Dale Eldredge**  
 ELDREDGE SURVEYING & ENGINEERING, LLC  
 1038 Main Street, Chatham, MA. (508) 945-3966; Fax: (508) 945-5885



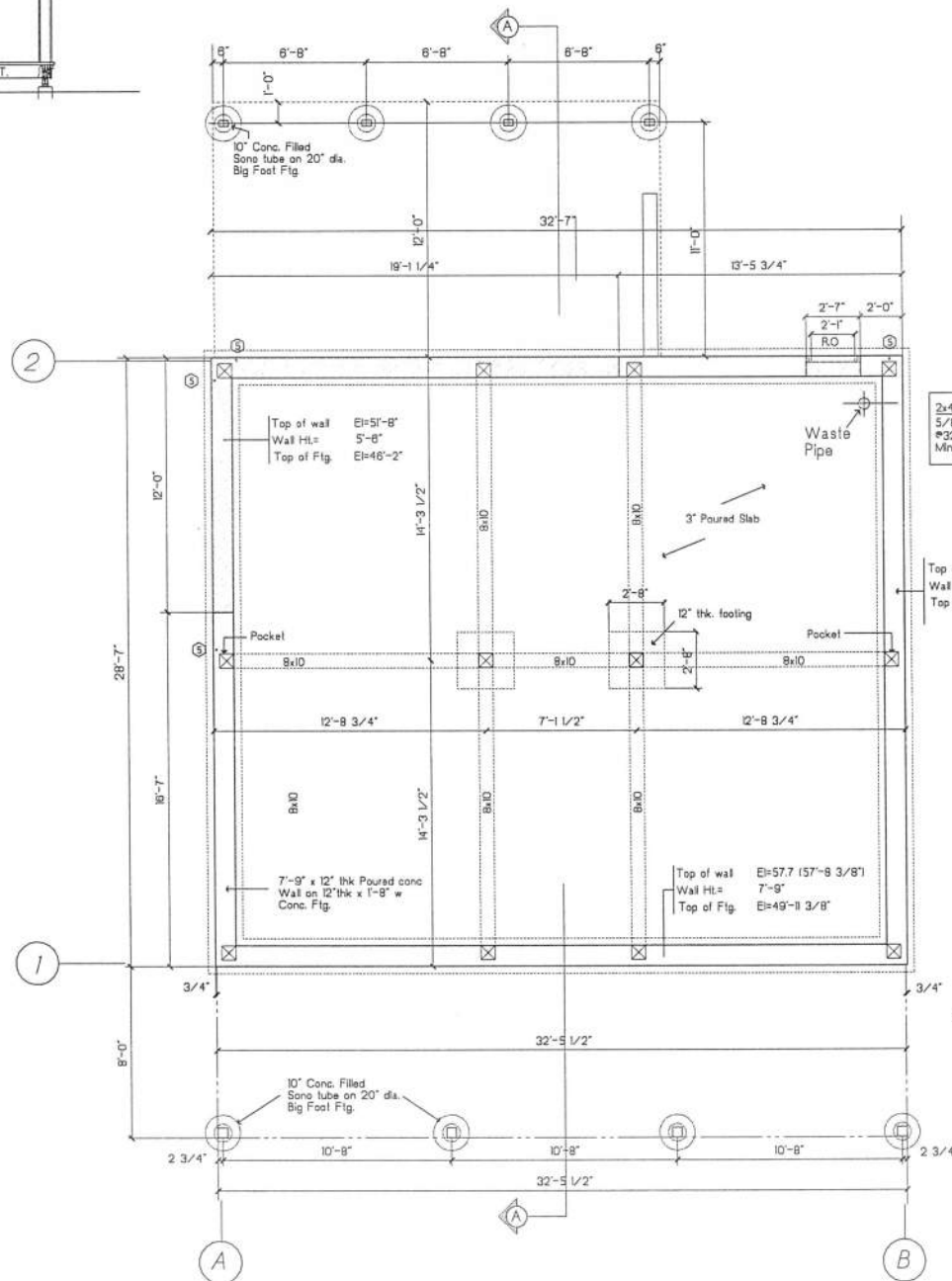
Date: 02-02-2018  
 Scale: 1" = 20'  
 Project No.: C-2843-01.0  
 Sheet No.: 1 of 1





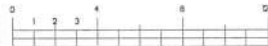
SECTION A

Scale 1/4"=1'-0"



FOUNDATION PLAN

Scale 1/4"=1'-0"



2x4 Wall Connection to Foundation.  
5/8" dia anchor bolts  
#32 o.c. with 3" x 3" x 1/4" plates  
Min 7" embedment. (typ thru out)

Top of Wall at=57'-8 3/8"  
Wall Ht. 7'-9"  
Top of Fig. 49'-11 3/8"

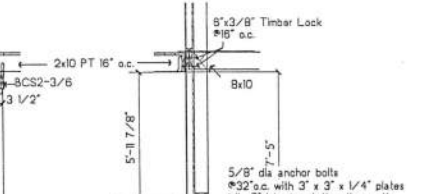
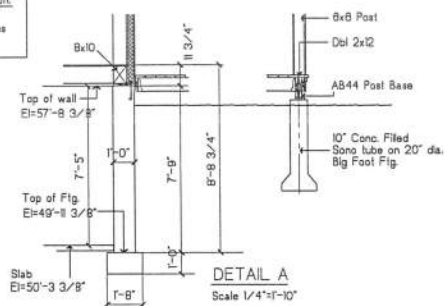
Top of wall El=51'-8"  
Wall Ht.= 7'-9"  
Top of Fig. El=46'-2"

Top of wall El=57.7 (57'-8 3/8")  
Wall Ht.= 7'-9"  
Top of Fig. El=49'-11 3/8"

10" Conc. Filled  
Sonotube on 20" dia.  
Big Foot Fig.

10" Conc. Filled  
Sonotube on 20" dia.  
Big Foot Fig.

10" Conc. Filled  
Sonotube on 20" dia.  
Big Foot Fig.



Proposed Single Family Dwelling for:

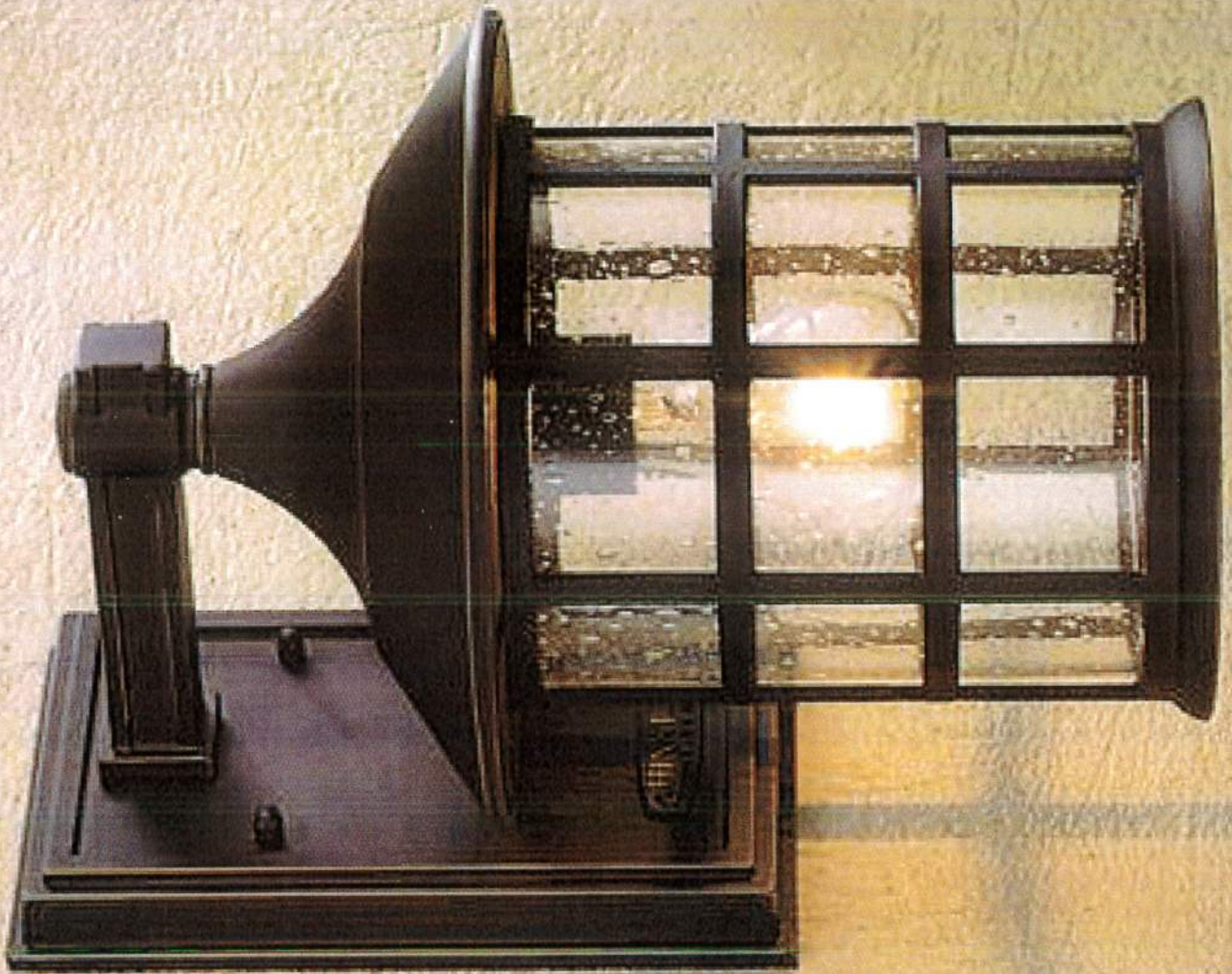
**Dale Eldredge**

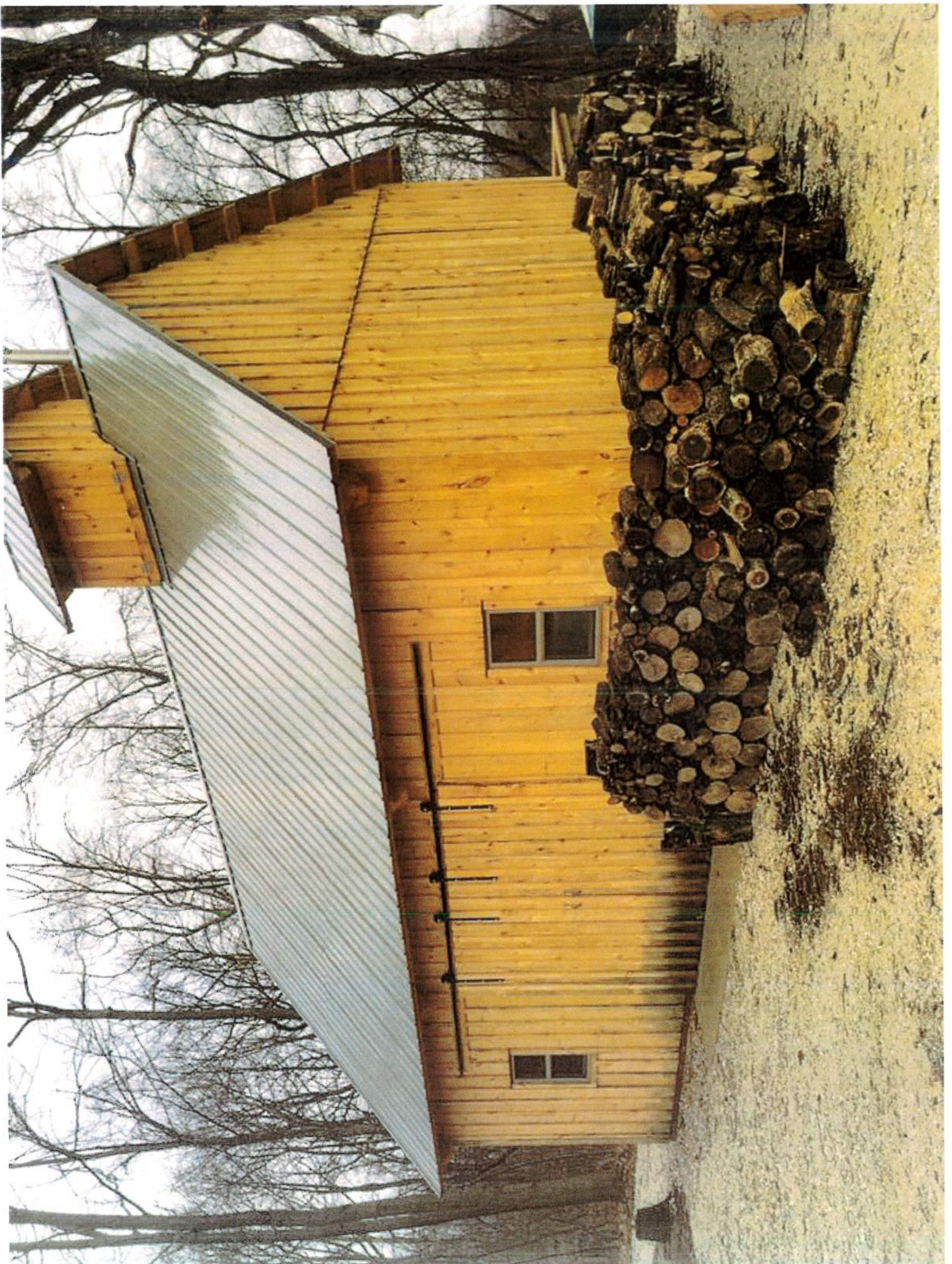
111 Stony Hill Rd, Chatham, MA.

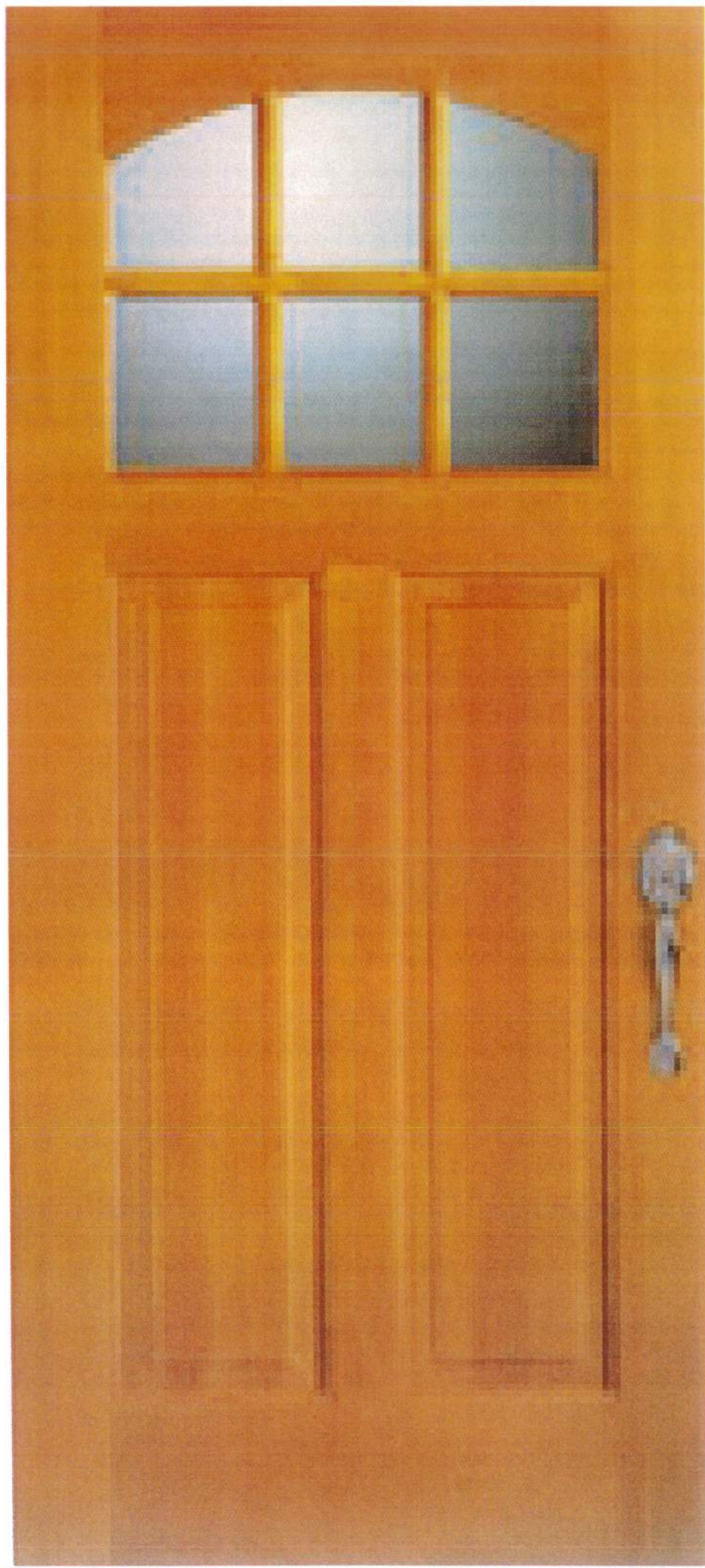
REVISIONS

Scale

Foundation  
Section















# Town Of Chatham Historic Business District Commission

261 George Ryder Road, CHATHAM, MA 02633  
TELEPHONE (508) 945-5168 FAX (508) 945-5163



## Conditions for Certificate of Appropriateness

### Standard

#### Conditions:

- Prior to any siding being installed the applicant will contact a Commission member to confirm the layout and exposure.
- The applicant will submit cut sheets for lighting.
- The applicant will return with a landscape plan and proposed plant list.
- The applicant will submit revised renderings to staff for the file.
- Any changes or alterations to the approved Certificate of Appropriateness require additional approval by the Historic Business District Commission.

### Project Specific

#### Conditions:

1. The applicant will return to the Commission with landscaping and lighting plans.
2. The corner boards will be 1x6.
3. The window trim will be 1x4.
4. The rake trim will be 1x8.
5. The fascia boards will be 1x8.
6. The freeze boards will be 1x6.
7. The second members will be 2 3/4.
8. The windows will be traditional double hung, 6 over 6.
9. Traditional sills will be used on the windows.
10. The shutters will match the door color presented.
11. The applicant will return with cut sheets for windows and doors, detail sheet for trim sizes and a list of materials for the decking.